

City of St. Charles Detached Garage



Building & Code Enforcement Division
2 East Main Street
St. Charles IL 60174
630.377.4406 (Office)
<http://www.stcharlesil.gov>

*Please direct any and all questions to the City of St. Charles Building & Code Enforcement Division:
Monday through Friday (8 AM to 4:30 PM) at 630.377.4406*

A building permit is required prior to any construction of a detached garage. The following are guidelines and comments for obtaining a building permit.

Application and Drawings Procedures:

- An application is to be filled out and submitted to the Building & Code Enforcement Division. The contractor's names, addresses, phone numbers, email and, if required, their license.
- For information on the setbacks for your particular zoning, please contact a Building Inspector at the Building and Code Enforcement Division at 630.377.4406.
- If you are upgrading the electric service, changing the panel or installing a new electric service, this application is also attached for you to complete and submit with the drawings.
- For a detached garage – two (2) **copies of the plat of survey** to scale showing the location of the garage and the measurements to all of the lot lines, also indicate on the survey the route of the electric service from the transformer to the house.
- No structure shall be located in any indicated easement area.
- Provide maximum building coverage calculations per your Zoning District on additions.
Definition: A measure of intensity of land use that represents the portion of a site that is covered by a principal building or buildings including attached garages and enclosed porches, and accessory buildings including detached garages and any other enclosed accessory building in excess of 150 square feet of Lot Coverage. Building coverage shall also include cantilevered portions of a building that extend beyond the footprint of a structure, including portions cantilevered over an open front porch. Building Coverage shall be measured at the outer edge of the foundation line, or at the outer wall surface support column in the case of a post, other non-continuous foundation, or cantilever, excluding projections for bay windows or chimneys. Building coverage shall not include unenclosed porches, decks, or unenclosed accessory structures such as gazebos, swimming pools, or tennis and sports courts.
- (2) **Two copies of plans** shall include sufficient detail to demonstrate compliance with Building Codes and Ordinances. The drawings shall be as accurate as possible, include dimensions, walls, receptacles, switches, lighting. Framing details shall include a typical wall detail, header sizes, beam and column sizes and if engineered lumber is specified, the manufacturers Sizing Tables.
- If there is any plumbing being done on your project, a copy of the plumbing contractors Illinois License Registration and an original notarized "Letter of Intent" signed by the plumbing contractor. If you, the homeowner, are completing all the plumbing work, a notarized "Letter of Intent" signed by you is required stating you will reside in this home as your sole residence for at least six months.

- If your property is located in any of the RT or CBD-2 zoning districts and your project involves any exterior alterations, additions, and detached garages, there are Architectural Design Guidelines in Section 17.06.060 of the Zoning Ordinance attached to this packet. The Planning Division will conduct a review of the project for compliance with these guidelines.
- Drawing showing how new electric will be run to the garage and material used.
- Our goal is to complete the review of your building permit within 10 working days.

Application – Permit Fees: *(All payments are to be made either in the form of cash, check, or money order):*

- A filing fee is to be paid at time of submission of application and plans.
 - A fee of **\$130.00 (to be paid at time of submittal)**
- **Re-inspection fee.** During the construction of your project should you fail any of the required inspections there is a re-inspection charge. The fees are due prior to certificate of occupancy. The fee schedule is:
 - \$65.00 per Building & Code Enforcement Department re-inspection for all types of inspections during construction (excluding finals)
 - \$85.00 per re-inspection for all residential final inspections.
- **Temporary certificate of occupancies.** \$85.00 is due prior to issuance of a temporary certificate of occupancy for residential.

Setbacks:

- **Rear Yard:** Minimum 5-feet from rear lot line without alley
 - Minimum of 3-feet from side lot line and from alley
- **Interior side yard** – Minimum of 3-feet from lot line
- **Exterior side yard** – Contact the Building & Code Enforcement Office at 630.377.4406 for this information.
- Detached accessory buildings or structures shall be located a minimum of 10-feet from any principal building on the lot.

Consultation Meetings:

The Building and Code Enforcement Division offers a consultation meeting where you will meet with City staff and discuss any questions or issues on your construction project. The meeting may be for a proposed project or a project that is currently under construction and can be held at the site location or in our office. To schedule this meeting, please contact our office at 630.377.4406.

General Comments:

- 1) **Compliance with the above-indicated codes, ordinances, and inspections is required.**
- 2) R105.7 Placement of permit. The building permit card shall be kept on the site (in the window) of the work and be visible from the street until such time as a certificate of occupancy permit has been issued, or a final inspection has been performed
- 3) No accessory building shall be constructed prior to construction of the principal building to which it is accessory.
- 4) No accessory building/structure located in the RE, RS, and RT Districts shall exceed twenty (20) feet in height, measured from the finished grade to the top of the structure.
- 5) Detached accessory buildings or structures shall be located a minimum of 10-feet from any principal building on the lot.
- 6) Private garage for one and two family dwellings shall conform to the applicable yard and setback requirements of the District as modified by Table 17.22-3, but in no event shall a garage for a one or two family dwelling be located closer to any street right of way than 15 feet.

- 7) If a one or two family dwelling lot abuts a paved public alley, any detached or attached private garage shall be constructed so that access is from the public alley.
- 8) The maximum width of any garage door opening for a one or two family dwelling shall be twenty-two (22) feet.
- 9) Driveways to garage must be a finished hard surface.
- 10) The permit conditions and stamped Field Copy of the plans are to be on the job site.
- 11) 24-hour notices are required for scheduling of any inspections.
- 12) If electric is installed, at least one GFI outlet shall be installed in a garage with power.
- 13) Attached is a copy showing two (2) different diagrams for the slab.
- 14) Attached is a copy of a specification sheet for your use.
- 15) If electric is provided at least one wall switch controlled lighting outlet shall be installed in the garage.
- 16) If electric is provided, at least one wall switch controlled lighting outlet shall be installed to provide illumination on the exterior side of entrances, the vehicle door is not required.
- 17) No accessory building shall be constructed prior to construction of the principal building to which it is accessory.
- 18) No accessory building/structure located in the RE, RS, and RT Districts shall exceed twenty (20) feet in height, measured from the finished grade to the top of the structure.
- 19) Detached accessory buildings or structures shall be located a minimum of 10-feet from any principal building on the lot.
- 20) Private garage for one and two family dwellings shall conform to the applicable yard and setback requirements of the District as modified by Table 17.22-3, but in no event shall a garage for a one or two family dwelling be located closer to any street right of way than 15 feet.
- 21) If a one or two family dwelling lot abuts a paved public alley, any detached or attached private garage shall be constructed so that access is from the public alley.
- 22) The maximum width of any garage door opening for a one or two family dwelling shall be twenty-two (22) feet.
- 23) Driveways to garage must be a finished hard surface.
- 24) Roof rafters R-802.1.1 (TABLES R-802.5.1 (1), R-802.5.1
- 25) Roof trusses R-502.11, R-602.10.6.2, AND R-802.10
- 26) Footings ("8x18" on 8" wall, 10"x20" on 10" wall).
R-602, 602.3.1, R-602.3.2, R-602.3.3, R-602.3.4, R-602.6, R-602.9) wall framing

Building Codes:

The following are the Building Codes, which the City of St. Charles has adopted:

- St. Charles Municipal Code
- 2014 Nat'l Electrical Code w/revisions
- 2015 Int'l Residential Code w/revisions
- 2015 Int'l Fuel Gas Code w/revisions
- 2015 Int'l Energy Conservation Code

Inspections:

The following is a list of inspections, which might be required for your project.

- Footing
- Floor
- Underground Electric
- Frame
- Electric
- Final

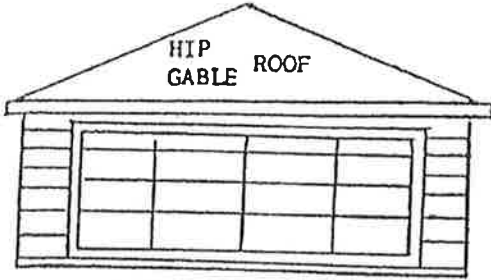
Any other required inspections specific to your project will be listed on the Permit Conditions sheet attached to the plans and permit.

Homeowner – Contractor Responsibilities:

- ✓ It is the responsibility of the homeowner/contractor to schedule with the Building & Code Enforcement Department the required inspections. The required inspections are indicated on the Permit Conditions form, which is attached to your permit and the Field Copy of drawings. When calling to schedule an inspection, please have the address and the permit number.
- ✓ No facility shall be occupied or used until a final inspection has been made and a certificate of occupancy has been issued.
- ✓ **Inspections shall be called a minimum of 24 hours before they become due.**
- ✓ Call J.U.I.L.E. at least 48-hours prior to any digging to locate any underground utilities. **(1-800-892-0123)**
 - Electric Utilities Red
 - Comcast (Cable) Orange
 - Northern Illinois Gas (NICOR) Yellow
 - Sewer Utilities Green
 - Telephone Utilities Orange
 - Water Utilities Blue

REV 1.24.2019

2-2x12 HEADERS

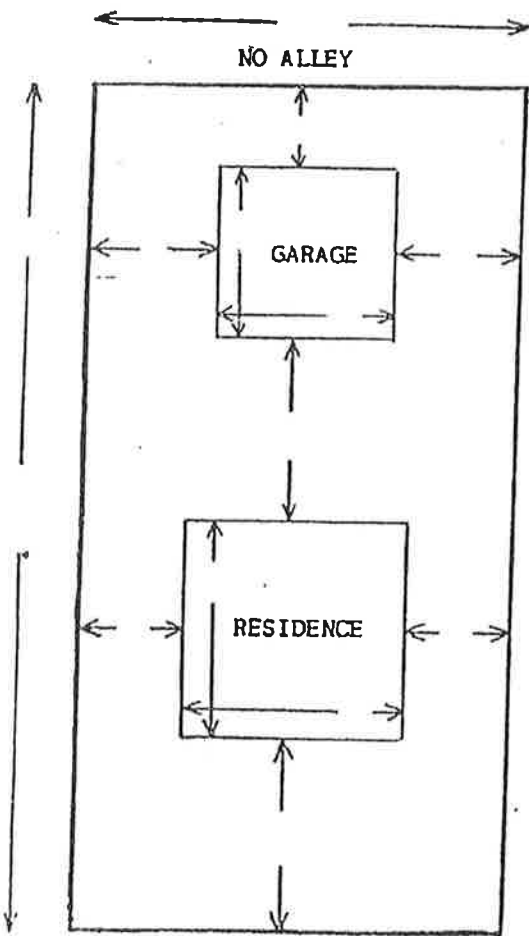


FRONT ELEVATION

2x8 HIP & RIDGE



SIDE ELEVATION



NO ALLEY

GARAGE

RESIDENCE

STREET NAME

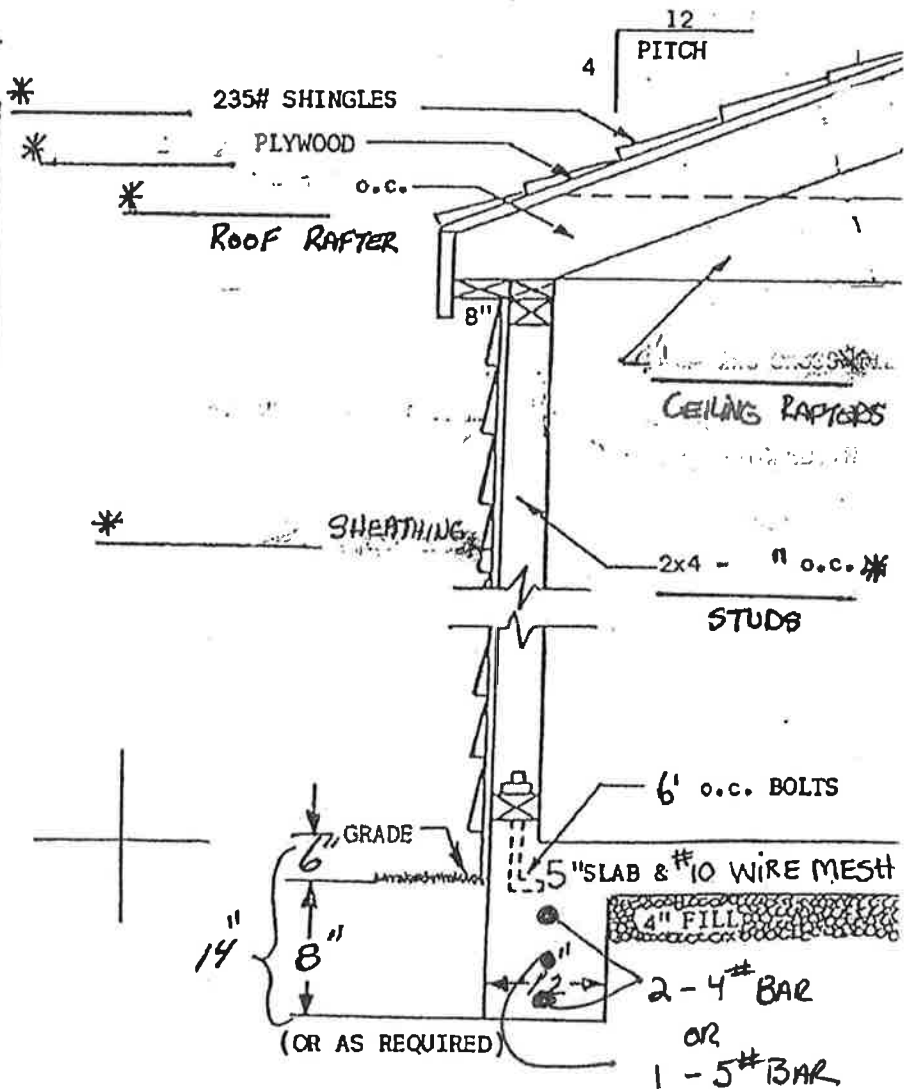
OWNER

ADDRESS

TOWN

ST. CHARLES

PHONE



235# SHINGLES
PLYWOOD
o.c.
ROOF RAFTER

12
4
PITCH

CEILING RAFTERS

SHEATHING

2x4 - " o.c."
STUDS

6' o.c. BOLTS

GRADE

5" SLAB & #10 WIRE MESH

4" FILL

2-4# BAR

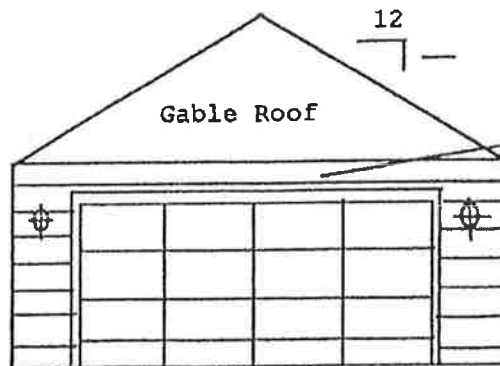
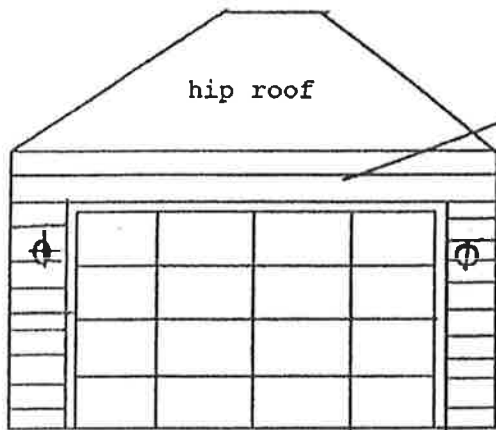
OR
1-5# BAR

(OR AS REQUIRED)

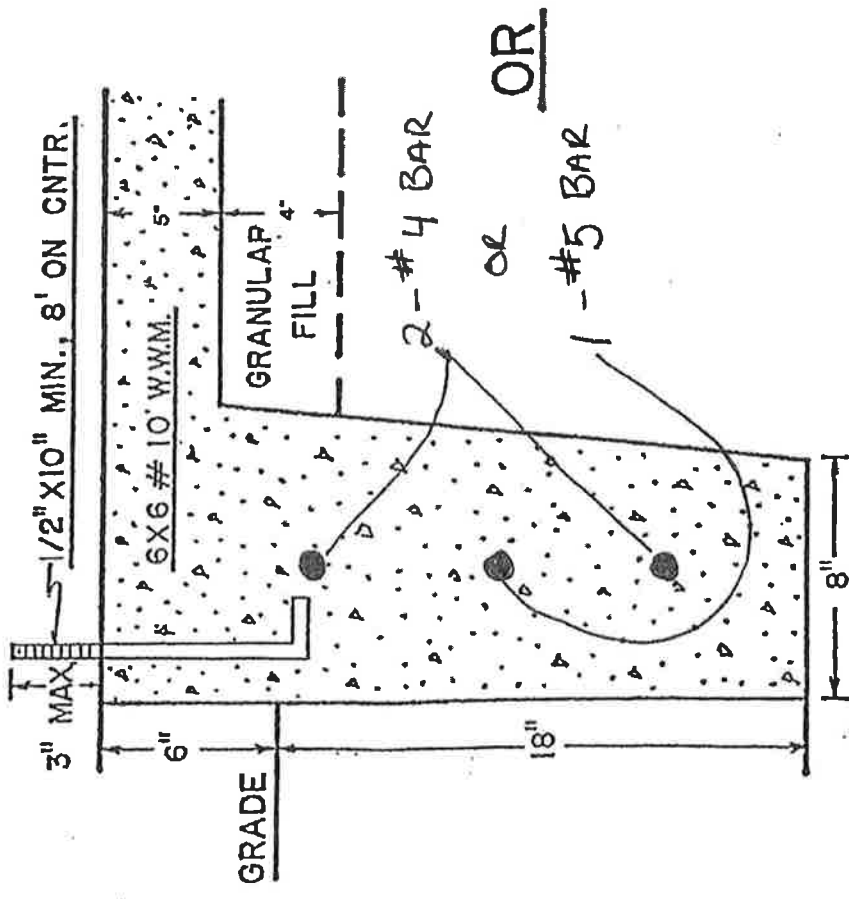
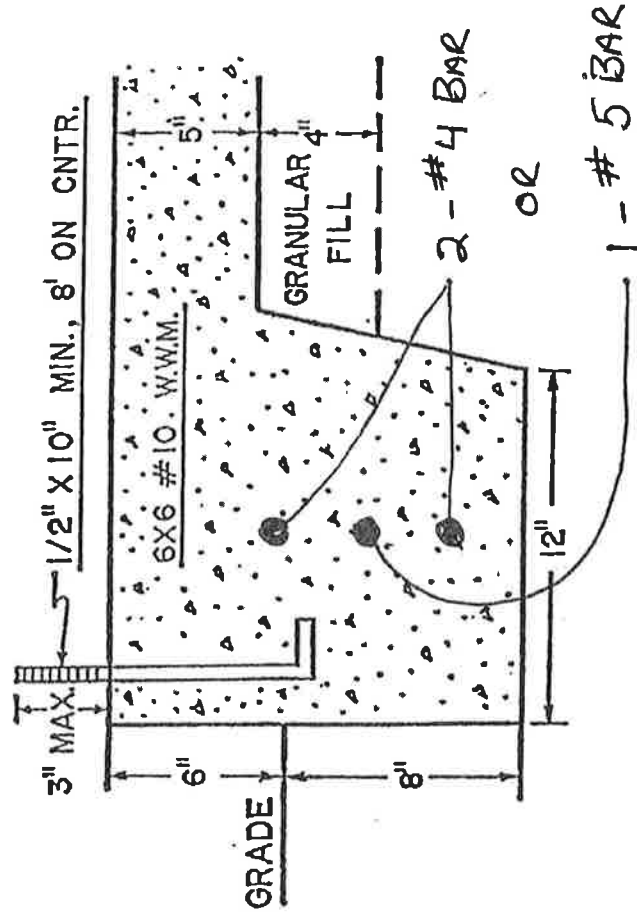
DLC-PP-5M/2-76



Side Elevation Detached Garage



FRONT ELEVATIONS



RESIDENTIAL ARCHITECTURAL DESIGN REVIEW STANDARDS AND GUIDELINES (FOR RT AND CBD-2 ZONING DISTRICTS ONLY)



COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT

CITY OF ST. CHARLES

PROCESS:

Residential Architectural Design Review is conducted by Planning Division staff for new construction and alterations to single- and two-family dwellings in the RT Traditional Residential (RT-1, RT-2, RT-3, RT-4) and CBD-2 zoning districts. The purpose of this review is to help ensure compatible new development and redevelopment in the city's older residential neighborhoods.

Planning Division staff will review plans for compliance with the Design Standards and Guidelines. Any staff comments will be forwarded to the permit applicant. The comments will indicate whether any changes must be made to comply with the requirements, or whether additional information is necessary for staff to conduct the review. If any changes or additional information are required, the applicant must re-submit plans or provide the additional information to the Building Division.

SUMMARY OF REQUIREMENTS:

The Design Standards and Guidelines fall into seven categories:

1. Site Layout and Context
2. Garages
3. Massing and Proportion
4. Roofs
5. Architectural Details
6. Windows, Doors, and Entrances
7. Additions and Exterior Alterations

Standards and Guidelines are listed under each category. **“Standards” are specific requirements that must be met. “Guidelines” are meant to be applied with more flexibility.** If a proposal does not precisely follow a guideline, it may still be acceptable if the proposal meets the intent for that group of standards and guidelines.

Other applicable zoning requirements found elsewhere in the Zoning Ordinance are referenced.

MORE INFORMATION:

The Design Standards and Guidelines can be found below, and are located in Ch. 17.06, Section 17.06.060 of the Zoning Ordinance, accessed here: <http://www.stcharlesil.gov/sites/default/files/codebook/t17-ch06.pdf>

Any questions regarding the Design Standards and Guidelines can be directed to the Planning Division by calling (630)377-4443.

DESIGN STANDARDS & GUIDELINES

For single and two-family dwellings in the RT-1, RT-2, RT-3, RT-4, and CBD-2 only.

A. Site Layout and Context

Intent: To ensure building placement is compatible with neighboring properties and reflects the development pattern of the surrounding neighborhood.

Standards:

1. Buildings facades shall be oriented to the street. Front facades should squarely face the street and should not be set at an angle. However if adjacent homes are set at an angle the new home may be similarly sited.
2. Site grading shall be consistent with that of adjacent properties. The slope and elevation of the property shall not be altered in such a manner that results in an artificial change of grade.
3. The amount of front or exterior side yard covered by driveways shall be limited per Section 17.24.070.Z

Guidelines:

1. Setbacks (front, side, rear) should generally follow the averages for the block on which the new house is located. Front and exterior side yard setbacks may be reduced based on averaging of existing principal building setbacks along the street frontage of a block- See Table 17.12-2 for setback requirements.
2. Building and site layout should be compatible with existing topography and vegetation. Preservation of existing trees, particularly older growth trees, is recommended.
3. The coverage of driveways and parking areas in the front and exterior side yards should be minimized to the greatest extent possible.

B. Garages

Intent: To reduce the appearance and prominence of garages in order to maintain a pedestrian friendly streetscape.

Standards:

1. Garages shall meet the provisions of Section 17.22.020 Accessory Buildings and Structures, including but not limited to: requirement to provide access from a public alley; limitations on garage door width; and requirements to set back street-facing attached garages from the remainder of the building.
2. Detached garages shall be consistent with the architectural style of the house. Use of similar window styles, exterior materials, and trim detailing is required.

Guidelines:

1. Detached or rear-loaded garages are recommended. A Building Coverage bonus shall be provided where a detached garage or an attached garage accessed via an alley is provided. See Table 17.12-2.
2. Street-facing doors on attached garages should incorporate glass panel windows.
3. The use of individual bay doors (single stall) is preferred over double-wide doors, particularly for street-facing attached garages. Stepped back, separate garage doors should also be considered to further soften the impact of a street-facing attached garage.

C. Massing and Proportion

Intent: To reduce the appearance of mass and to encourage new houses to match the scale of the existing neighborhood.

Standards:

1. Buildings shall comply with the Bulk Requirements provided in Table 17.12-2 (including setbacks, building coverage, and building height).

Guidelines:

1. Scale, proportions, and height, should be compatible with adjacent homes and with the general characteristics of homes in the surrounding neighborhood. For example, effort should be made to limit the height, or reduce the appearance of height, of a two-story house constructed among single-story houses.
2. Simple building forms and shapes are encouraged.
3. The following methods may be incorporated to reduce the apparent mass of a home:
 - a. Step back portions of the home. For example, set the second story back a number of feet from the first story or add an unenclosed porch on the first story.
 - b. Use dormers to break up roof mass, if consistent with the architectural style of the home.
 - c. Incorporate horizontal design detailing to visually break up flat walls. Examples include wide skirt boards, mid-section trim between stories, frieze boards along roof eaves, partial or complete gable returns, or a change in siding or masonry patterns or materials.

D. Roofs

Intent: To encourage roofs and rooflines that add character and interest to a home, while blending with the roof forms found throughout the existing neighborhood.

Guidelines:

1. The form, pitch, and scale of roofs should be compatible with the surrounding neighborhood.
2. Roof form, pitch, and scale should match the architectural style of the house.
3. Simple gabled and hipped roof forms are preferred.
4. Eaves that extend a sufficient distance to create shadow lines are encouraged if appropriate for the architecture of the structure.
5. The roof of the garage and other accessory structures should mimic the roof of the house in both form and pitch.
6. Mansard and flat roofs should be used only if appropriate for the architectural style of the house.

E. Architectural Details

Intent: To promote architectural interest and design that complements the traditional building styles found in older neighborhoods.

Standards:

1. "360 degree architecture" is required, meaning that facades must be designed to be viewed from all directions. At a minimum, the same window types and similar trim detailing to the front elevation must be used on the side and rear elevations.

Guidelines:

1. Use of masonry should be consistent on all façades. Use of masonry on the front façade only is discouraged.
2. The use of exterior trim detailing is recommended. In addition to window casing, such detailing includes: wide vertical corner boards, skirt boards, frieze boards, and mid-section trim.
3. The limited use of decorative elements such as gable trusses, exposed rafters, arched doors and windows, quoins, pediments, etc. is encouraged, provided such elements do not overwhelm or clutter the home's appearance and are appropriate for the architectural style of the home.
4. All window openings should be articulated by window casing of at least four (4) inches if the primary wall material is siding.

5. Shutters should only be utilized where appropriate for the architectural style of the building. If shutters are used, they should exactly match the window size.
6. Chimneys should be masonry when located on a street-facing elevation.

F. Windows, Doors, and Entrances

Intent: To promote an inviting presence that contributes to the pedestrian friendly character of the neighborhood.

Guidelines:

1. The home's primary entrance should be located at the front of the house, facing the street.
2. The front entry should be the predominate feature on the front elevation. Multi-story entry features should be used only when architecturally appropriate.
3. Open, full-width front or wrap-around porches are recommended to emphasize the front entrance. Porches should be at least six (6) to eight (8) feet in depth and constructed in a manner so as to be fully functional. Porch detailing should be consistent with the architecture of the house.
4. Unenclosed Porches are permitted to encroach up to eight (8) feet into the front, exterior side or rear yards. Unenclosed porches are not included in the calculation of Building Coverage. For the definition of an Unenclosed Porch vs. Enclosed Porch and Building Coverage, see Ch. 17.30. For information on permitted yard encroachments, see Section 17.22.030.
5. Windows should be incorporated on all elevations.
6. Window openings and panes should be similarly proportioned throughout.
7. Windows should be placed in a manner that creates a balanced elevation on all sides of the house.
8. Double-hung or casement windows are preferred. The use of fixed and large, undivided pane windows should be limited.
9. The use of window muntins (divides) should be consistent for all windows.
10. The style of windows and doors (particularly the front door) should complement the architectural style of the house.
11. In addition to window casing, design elements such as window muntins (divides), window sills, and head trim, should be incorporated if such details are appropriate for the architectural style of the house.

G. Additions and Exterior Alterations

Intent: To ensure additions and exterior alterations are complementary to the existing home and blend with the neighborhood.

Standards:

1. Additions and exterior alterations shall abide by the applicable standards and guidelines in Section 17.06.060 A-F.

Guidelines:

1. Additions should match the scale and mass of the original structure.
2. Additions and exterior alterations should match the existing house in exterior materials, color, architectural style and detailing, window proportion and type, and roof form, pitch, and color.

CITY OF ST CHARLES

Application for Detached Garage



DEPARTMENT: BUILDING & CODE ENFORCEMENT PHONE: 630.377-4406

Application Date: _____ Parcel No. _____ Permit No. _____

PLEASE PRINT ALL INFORMATION

I, _____, do hereby apply for a permit for the following described work

located at _____ Estimated Cost: _____

Square footage of detached garage: _____ Description of proposed work: _____

Check List for Submittal of Application:

- Is your property located in the Historic Preservation District? Yes/No If yes, your application will need to be approved by the Historic Preservation Committee.
- Is your property located in the RT District?
- Building Permit Application – Completely Filled Out.
- Two-2 Copies of Plat Of Survey – Show yard setbacks to all of your lot lines.
- Two-2 sets of drawings that show all interior and exterior construction details.
- If any roofing is being conducted by anyone other than the owner we need the Roofing Contractor's Illinois State License Number and the expiration date of their License.
- If any work is being conducted in the City right-of-way or street, please include the documents.
- Submittal fee of \$130.00 – **PAYMENT IS TO BE IN CASH OR CHECK PAYABLE TO THE CITY OF ST. CHARLES.**

Owner of the Property:

Name: _____
 Address: _____
 City/State/Zip Code: _____
 Email: _____
 Telephone NO. _____

Applicant:

Name: _____
 Address: _____
 City/State/Zip Code: _____
 Email: _____
 Telephone NO. _____

General Contractor:

Name: _____
 Address: _____
 City/State/Zip Code: _____
 Email: _____
 Telephone NO. _____
 Illinois License No. _____

Concrete Contractor

Name: _____
 Address: _____
 City/State/Zip Code: _____
 Email: _____
 Telephone NO. _____
 Illinois License No. _____

I, the undersigned, certify that if a permit is issued to me, I will comply with all provisions of the building, plumbing, electric and other applicable ordinances of the City of St. Charles and shall perform all work, or cause all work to be performed according to the provisions of said ordinances. I, or my agent, shall personally supervise the work and shall do, or cause to have done, said work according to plans, specifications and other written information supplied as a part of this application. I am familiar with the applicable ordinances and the provision thereof and in signing this application do willingly become responsible for all work accomplished under the permit by all contractors, tradesmen and workmen, and shall call for inspections as required at a minimum of 24-hours before they become due.

PRINT NAME: _____ SIGNATURE: _____

REPORT OF THE BUILDING OFFICIAL

Accepted: _____ Rejected: _____ Date: _____

Signed: _____

For Office Use
Received _____
Fee Paid \$ _____
Check # _____